

# ABILENE HOUSING AUTHORITY

## PROJECT NUMBER: 2025-009 ROOF REPLACEMENTS AT ROBERT DEEGAN, BRAILSFORD B & D COMPLEXES

### CONSTRUCTION CODES:

2021 INTERNATIONAL BUILDING CODE  
2021 INTERNATIONAL EXISTING BUILDING CODE  
2021 INTERNATIONAL MECHANICAL CODE  
2021 IECC ENERGY CONSERVATION CODE  
2020 NATIONAL ELECTRIC CODE  
AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES  
TEXAS ACCESSIBILITY STANDARDS

BUILDING OCCUPANCY: R3  
CONSTRUCTION TYPE: TYPE VB

### PROJECT TABULATION:

DEEGAN APARTMENTS SITE AREA	4.26 ACRES
BRAILSFORD B APARTMENTS SITE AREA	5.502 ACRES
BRAILSFORD D APARTMENTS SITE AREA	6.088 ACRES
DEEGAN APARTMENTS BUILDING AREA	21,600 SF
BRAILSFORD B APARTMENTS BUILDING AREA	42,457 SF
BRAILSFORD D APARTMENTS BUILDING AREA	41,190 SF

### SHEET INDEX

ARCHITECTURAL	REVISION	DATE
A-0.00 COVER SHEET		
A-1.01 DEEGAN APARTMENTS SITE PLAN		
A-1.02 V. E. BRAILSFORD SITE PLAN B		
A-1.03 V. E. BRAILSFORD SITE PLAN D		
A-2.01 DEEGAN BUILDING E1/E1		
A-2.02 DEEGAN BUILDING E1H/E1H		
A-2.03 DEEGAN BUILDING E1H/F1		
A-2.04 DEEGAN COMMUNITY BUILDING		
A-2.05 BRAILSFORD BUILDING F1/F1		
A-2.06 BRAILSFORD BUILDING F1H/F2H		
A-2.07 BRAILSFORD BUILDING F2/F2		
A-2.08 BRAILSFORD BUILDING F3/F3		
A-2.09 BRAILSFORD BUILDING F3/F4		
A-2.10 BRAILSFORD BUILDING F4/F4		

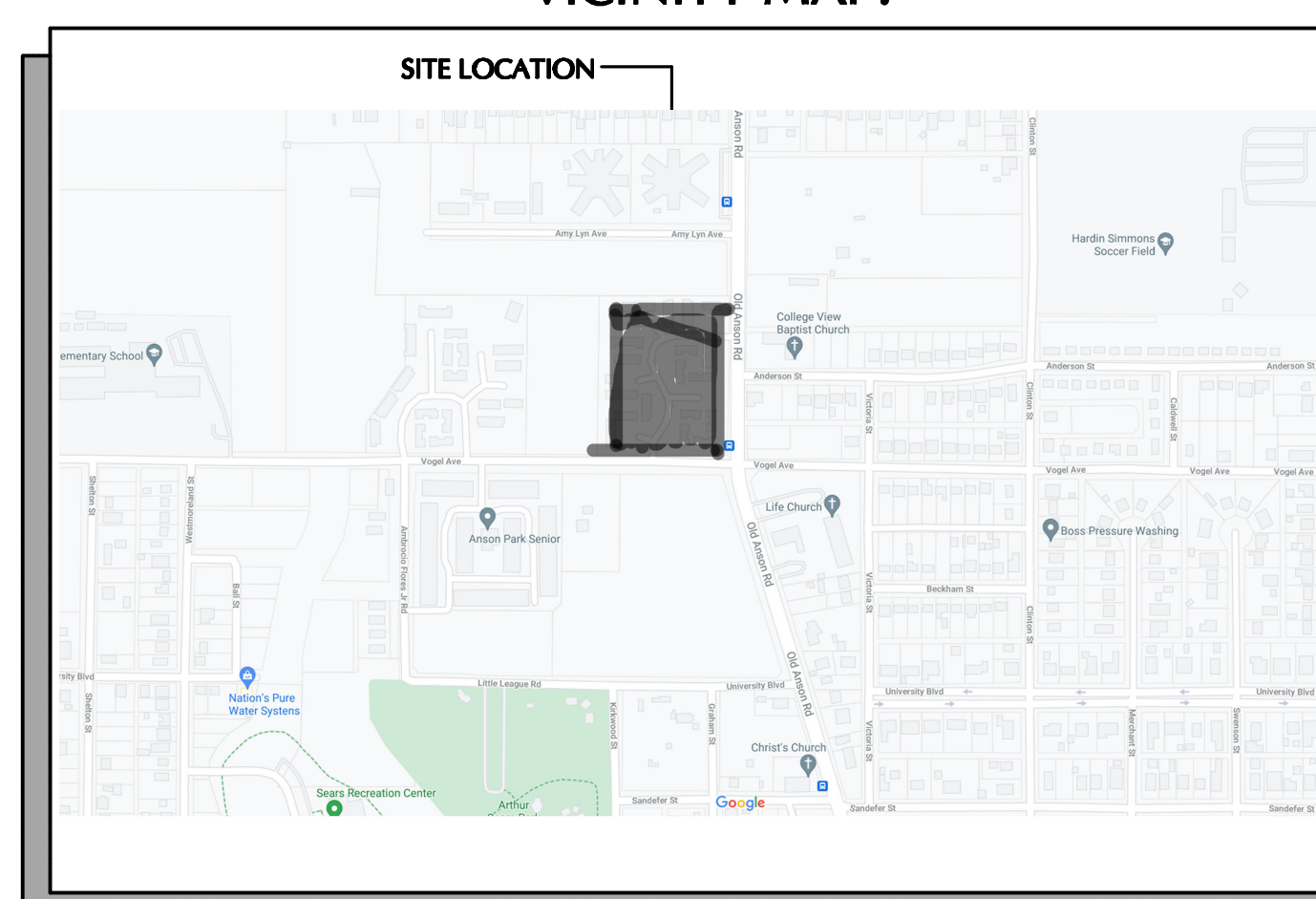
ROBERT DEEGAN PLACE  
APARTMENTS ROOF REPLACEMENT  
3402 REBECCA LANE  
ABILENE, TEXAS 79603

### VICINITY MAP:



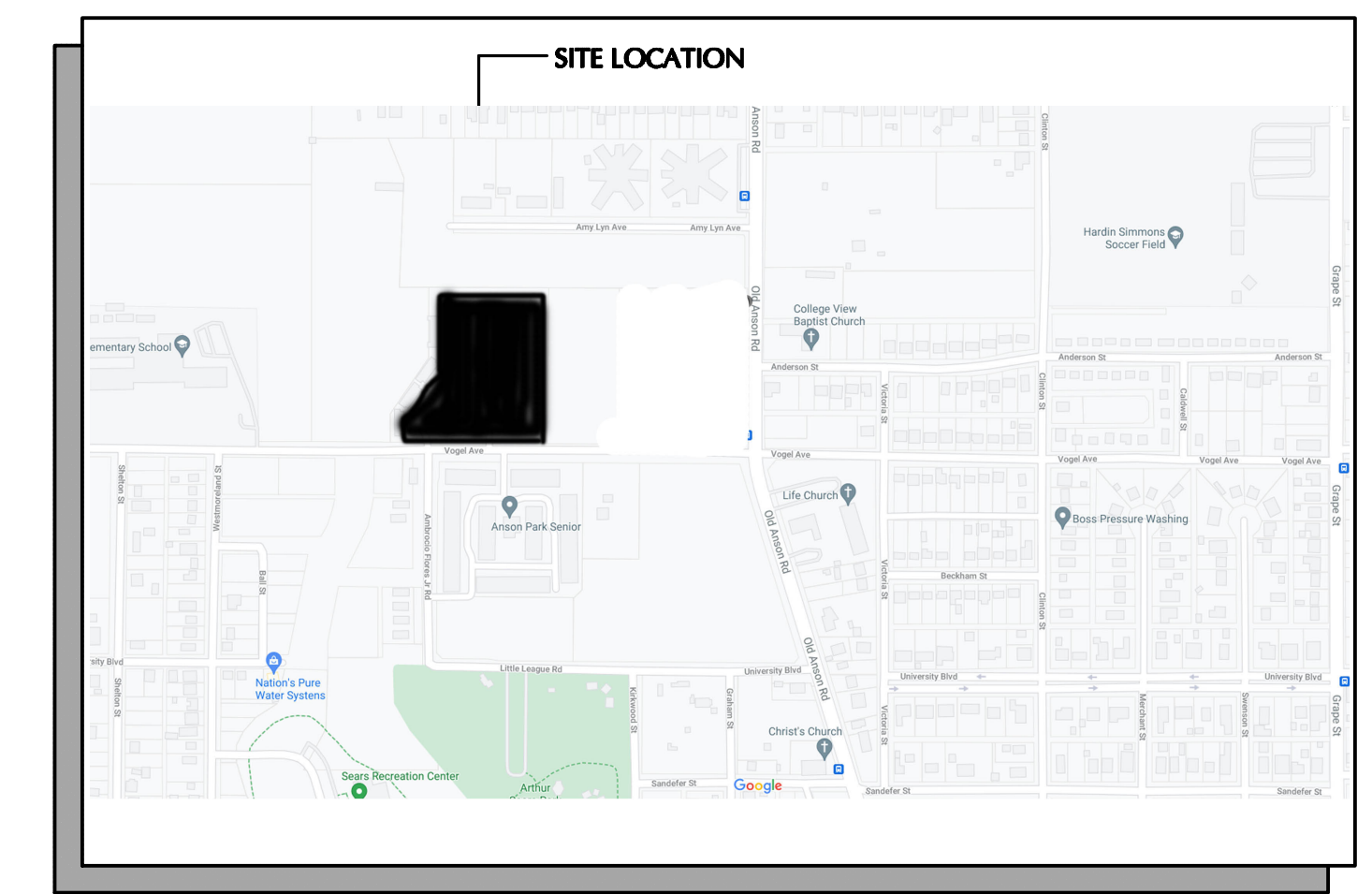
V.E.BRAILSFORD COMPLEX B ROOF REPLACEMENT  
2100 VOGEL ST.  
ABILENE, TEXAS 79603

### VICINITY MAP:



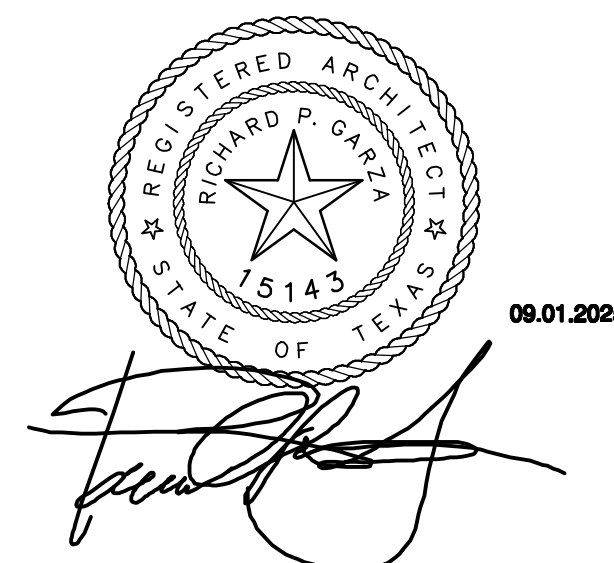
V.E. BRAILSFORD COMPLEX D ROOF REPLACEMENT  
2250 VOGEL ST.  
ABILENE, TEXAS 79603

### VICINITY MAP:



**OWNER:**  
ABILENE HOUSING AUTHORITY  
4398 NORTH 7TH STREET  
ABILENE, TX 79603  
Shawnta Griffin  
Telephone: 325-676-6032  
Email: shawnta.griffin@abileneha.org

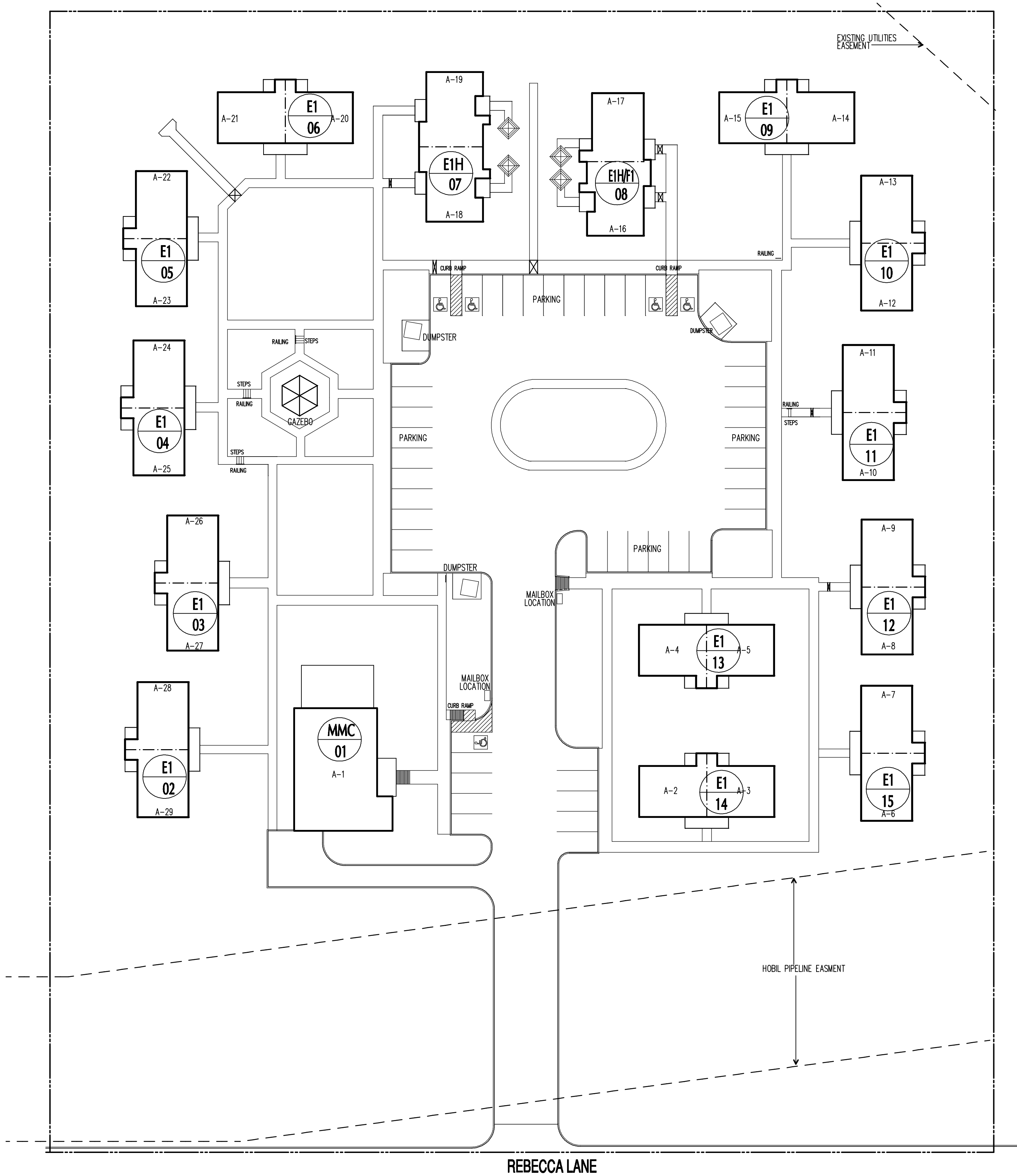
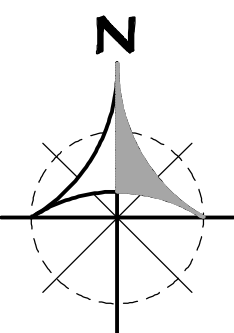
**ARCHITECT:**  
RPGA Design Group, inc.  
101 S. Jennings Ave., Suite 100  
Fort Worth, Texas 76104  
Telephone: 817-332-9477  
Fax: 817-332-9487  
Principal: Rick Garza  
Email: rickgarza@rpgaarchitects.com  
Project Manager: Dustin Higgins  
Email: dhiggins@rpgaarchitects.com



ISSUE FOR CONSTRUCTION DATE:

09.01.2025

**RPGA**  
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Architecture SpacePlanning Interiors  
1530 Rio Grande Ave., Suite 100 Fort Worth, Texas 76102 817.332.9477 Fax 817.332.9487 Metro 972.445.6425  
www.rpgaarchitects.com @RPGADesignGroupInc



01 **ROOF REPLACEMENT DEEGAN SITE PLAN**  
SCALE: 1"=30'-0"  
3402 REBECCA LN. ABILENE, TX 79606

**GENERAL NOTES:**

1. CONTRACTOR TO REMOVE ALL EXISTING SHINGLES UNDERLAYMENT AND FASTENERS FROM ROOF DECK
2. CONTRACTOR TO INSPECT ROOF DECK FOR DAMAGED SHEATHING. ANY SHEATHING NEEDING TO BE REPLACED MUST BE DOCUMENTED WITH PHOTOS FOR CHANGE ORDER APPROVAL. NEW SHEATHING MUST MATCH EXISTING THICKNESS WITH EDGES SECURED TO ROOF RAFTERS WITH PERIMETER SPACING NO GREATER THAN 1/8".
3. REMOVE AND REPLACE EXISTING METAL DRIP EDGE AT ROOF PERIMETER.
4. ALL EXISTING GUTTERS TO REMAIN AND NOT DAMAGED DURING ROOF REPLACEMENT WORK.
5. CONTRACTOR TO INSPECT ROOF PENETRATIONS AND CAPS TO REMAIN FOR DRAINAGE. ANY COMPONENTS NEEDING TO BE REPLACED MUST BE DOCUMENTED WITH PHOTOS FOR CHANGE ORDER APPROVAL.
6. CONTRACTOR TO ADJUST EXISTING PIPE AND FLUE PENETRATIONS TO BE PLUMB AND VERTICAL TO THE GREATEST EXTENET POSSIBLE.
7. CONTRACTOR TO REPLACE ALL ROOF PENETRATION FLASHING WITH NEW FOR WATER TIGHT SEAL.
8. CONTRACTOR TO PAINT ALL METAL FLUES, PENETRATIONS AND CAPS WITH RUST PREVENTING EXTERIOR GRADE PRIMER AND PAINT. COLOR TO BE SELECTED BY ARCHITECT.
9. CONTRACTOR TO FIELD VERIFY ATTIC VENTILATION IN ACCORDANCE WITH CALCULATIONS PROVIDED ON THE ROOF PLANS. IF NET FREE AREA IS NOT PROVIDED, CONTRACTOR TO INSTALL ADDITIONAL VENTS TO ACHIEVE MINIMUM NET FREE AIR FLOW SHOWN IN CALCULATIONS FOR UPPER AND LOWER ROOF VENTILATION.
10. CONTRACTOR TO INSTALL NEW FULLY ADHERED UNDERLAYMENTS AS SPECIFIED IN PROJECT MANUAL IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.
11. CONTRACTOR TO INSTALL NEW SHINGLES AS SPECIFIED IN THE PROJECT MANUAL IN ACCORDANCE WITH MANUFACTURERS INSTALATION INTRUCTIONS.
12. CONTRACTOR TO REMOVE AND DISPOSE OF ALL CONSTRUCTION DEBRIS, ON SITE. DUMPSTERS MAY NOT BE USED FOR CONSTRUCTION PURPOSES.
13. CONTRACTOR IS TO COLLECT ALL DROPPED FASTENERS AROUND BUILDING TO PREVENT INJURY TO TENANTS.
14. CONTRACTOR TO REMOVE AND REPLACE EXISTING SHINGLE ROOF AT GAZEBO WITH SAME UNDERLAYMENT AND SHINGLES AS OTHER BUILDINGS. APPROX. 480 SF

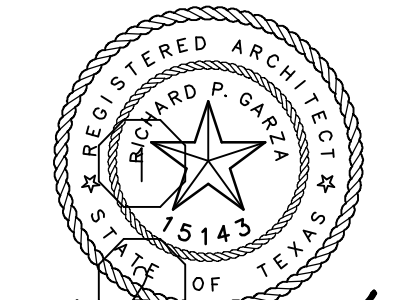
BUILDING DISTRIBUTION SCHEDULE				
BUILDING TYPE	UNIT TYPE	DESCRIPTION	NUMBER OF BUILDINGS	NUMBER OF UNITS
E-1	E-1	1 BEDROOM	12	24
E-1H/E-1H	E-1H/E-1H	1 BED. HC/2 BED. HC	01	02
F-1/E-1H	F-1H/E-1H	2 BEDROOMS	01	02
MCC		MAINT/COMMUNITY CTR.	01	-
GZ		GAZEBO	01	-
TOTAL			16	28

DRAWN BY: **M.C.P.**  
CHECKED BY: **D.P.H.**  
DATE: **08.21.2025**  
ISSUED FOR PERMIT: **09.01.2025**  
ISSUE FOR PRICING: **09.01.2025**  
ISSUE FOR CONSTRUCTION: **09.01.2025**  
REVISIONS: \_\_\_\_\_

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**ABILENE HOUSING AUTHORITY**  
**DEEGAN & BRAILSFORD APARTMENTS**  
**ROOF REPLACEMENT**  
TEXAS  
ABILENE,

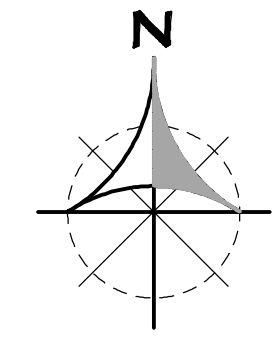
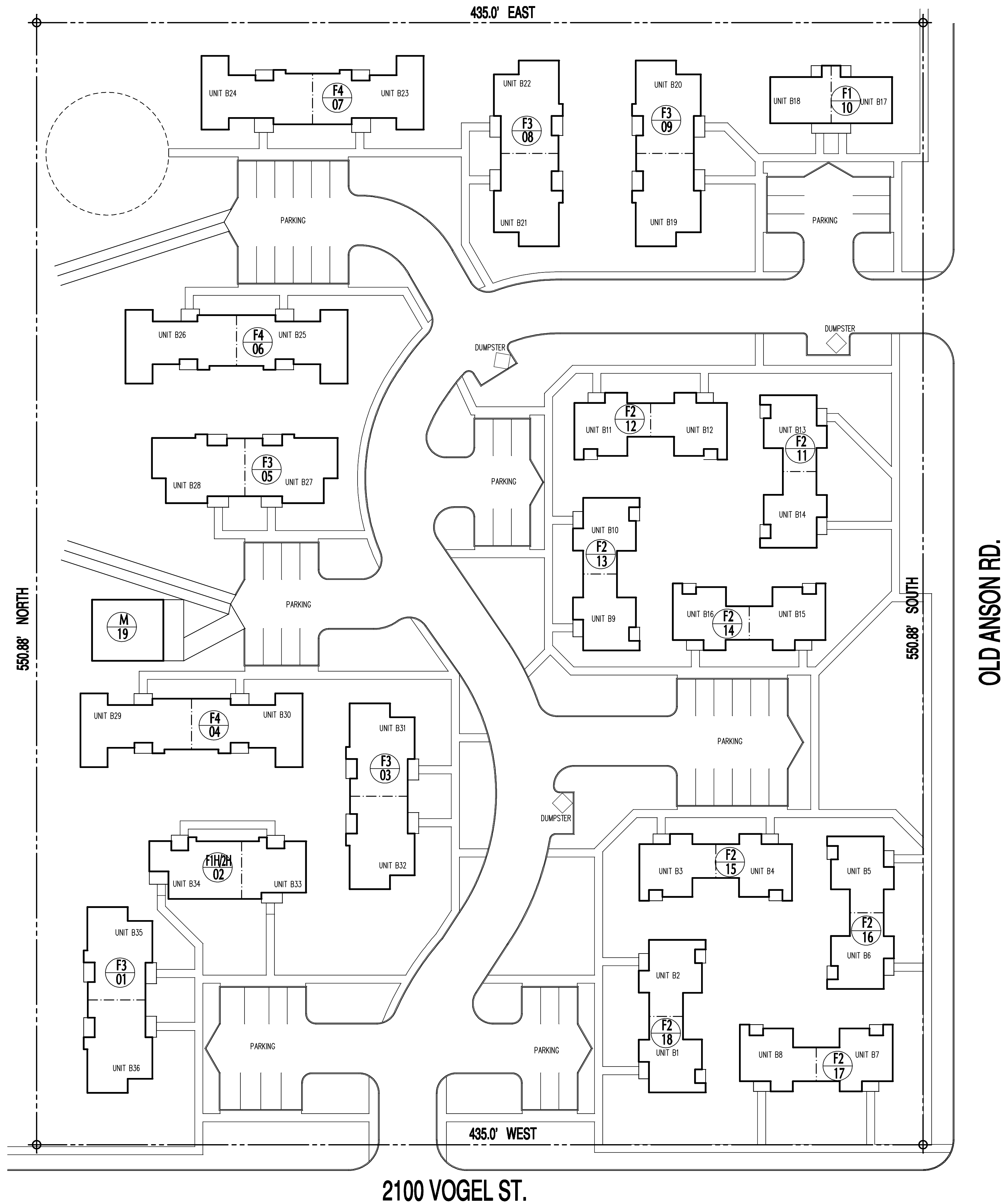


09.01.2025  
*[Signature]*

PROJECT NO.  
**2025-009**  
SHEET NO.

**A-1.01**





## GENERAL NOTES:

1. CONTRACTOR TO REMOVE ALL EXISTING SHINGLES UNDERLAYMENT AND FASTENERS FROM ROOF DECK
2. CONTRACTOR TO INSPECT ROOF DECK FOR DAMAGED SHEATHING. ANY SHEATHING NEEDING TO BE REPLACED MUST BE DOCUMENTED WITH PHOTOS FOR CHANGE ORDER APPROVAL. NEW SHEATHING MUST MATCH EXISTING THICKNESS WITH EDGES SECURED TO ROOF RAFTERS WITH PERIMETER SPACING NO GREATER THAN 1/8".
3. REMOVE AND REPLACE EXISTING METAL DRIP EDGE AT ROOF PERIMETER.
4. ALL EXISTING GUTTERS TO REMAIN AND NOT DAMAGED DURING ROOF REPLACEMENT WORK.
5. CONTRACTOR TO INSPECT ROOF PENETRATIONS AND CAPS TO REMAIN FOR DRAINAGE. ANY COMPONENTS NEEDING TO BE REPLACED MUST BE DOCUMENTED WITH PHOTOS FOR CHANGE ORDER APPROVAL.
6. CONTRACTOR TO ADJUST EXISTING PIPE AND FLUE PENETRATIONS TO BE PLUMB AND VERTICAL TO THE GREATEST EXTENET POSSIBLE.
7. CONTRACTOR TO REPLACE ALL ROOF PENETRATION FLASHING WITH NEW FOR WATER TIGHT SEAL.
8. CONTRACTOR TO PAINT ALL METAL FLUES, PENETRATIONS AND CAPS WITH RUST PREVENTING EXTERIOR GRADE PRIMER AND PAINT. COLOR TO BE SELECTED BY ARCHITECT.
9. CONTRACTOR TO FIELD VERIFY ATTIC VENTILATION IN ACCORDANCE WITH CALCULATIONS PROVIDED ON THE ROOF PLANS. IF NET FREE AREA IS NOT PROVIDED, CONTRACTOR TO INSTALL ADDITIONAL VENTS TO ACHIEVE MINIMUM NET FREE AIR FLOW SHOWN IN CALCULATIONS FOR UPPER AND LOWER ROOF VENTILATION.
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12. CONTRACTOR TO REMOVE AND DISPOSE OF ALL CONSTRUCTION DEBRIS, ON SITE. DUMPSTERS MAY NOT BE USED FOR CONSTRUCTION PURPOSES.
13. CONTRACTOR IS TO COLLECT ALL DROPPED FASTENERS AROUND BUILDING TO PREVENT INJURY TO TENANTS.
14. CONTRACTOR TO REMOVE AND REPLACE EXISTING SHINGLE ROOF AT MAINTENANCE BUILDING WITH SAME UNDERLAYMENT AND SHINGLES AS OTHER BUILDINGS. APPROX. 1,150 SF.

BUILDING DISTRIBUTION SCHEDULE				
BUILDING TYPE	UNIT TYPE	DESCRIPTION	NUMBER OF BUILDINGS	NUMBER OF UNITS
F-1	F-1	1 BEDROOM	01	02
F-1H/F-2H	F-1H/F-2H	1 BED./HC2 BED. HC	01	02
F-2	F-2	2 BEDROOMS	08	16
F-3	F-3	3 BEDROOMS	05	10
F-4	F-4	3 BEDROOMS	03	06
F-3/F-4	F-3/F-4	3 BED./4 BED.	-	-
M	-	MAINTENANCE BLDG.	1	-
COMM.	-	COMMUNITY CENTER	-	-
TOTAL			19	36

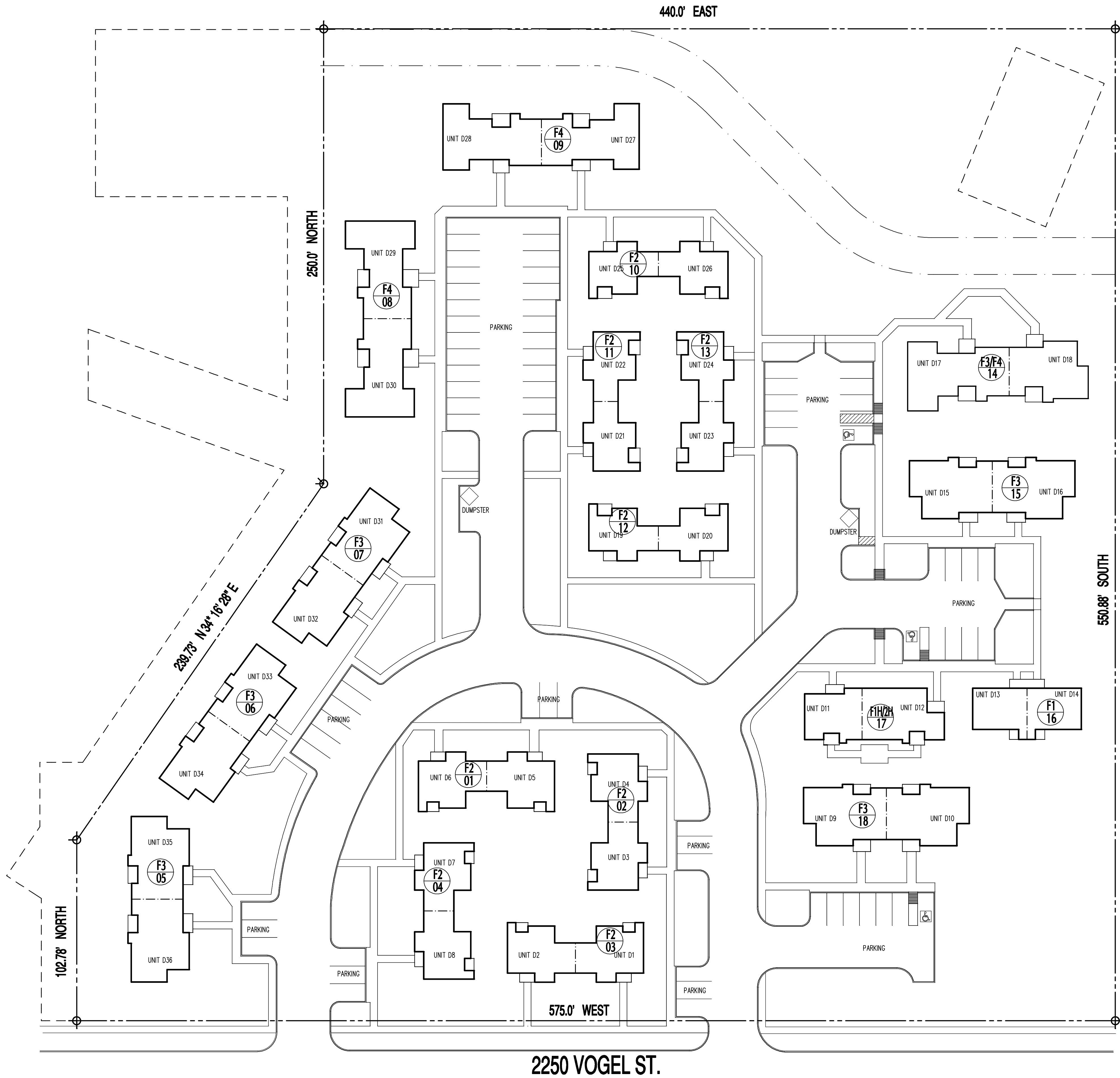
DRAWN BY: F.S.G.  
CHECKED BY: D.P.H.  
DATE: 08.21.2025  
ISSUED FOR PERMIT: 09.01.2025  
ISSUE FOR PRICING: 09.01.2025  
ISSUE FOR CONSTRUCTION: 09.01.2025  
REVISIONS: \_\_\_\_\_  
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**ABILENE HOUSING AUTHORITY**  
**DEEGAN & BRAILSFORD APARTMENTS**  
ROOF REPLACEMENT  
TEXAS  
ABILENE,

REGISTERED ARCHITECT  
HOWARD P. GARY  
STATE OF TEXAS  
15143  
09.01.2025

PROJECT NO.  
2025-009  
SHEET NO.  
A-1.02



01 ROOF REPLACEMENT BRAILSFORD "D" SITE PLAN  
SCALE: 1"=30'-0" 2250 VOGEL ST. ABILENE, TX. 79603

GENERAL NOTES:

1. CONTRACTOR TO REMOVE ALL EXISTING SHINGLES UNDERLAYMENT AND FASTENERS FROM ROOF DECK
2. CONTRACTOR TO INSPECT ROOF DECK FOR DAMAGED SHEATHING. ANY SHEATHING NEEDING TO BE REPLACED MUST BE DOCUMENTED WITH PHOTOS FOR CHANGE ORDER APPROVAL. NEW SHEATHING MUST MATCH EXISTING THICKNESS WITH EDGES SECURED TO ROOF RAFTERS WITH PERIMETER SPACING NO GREATER THAN 1/8".
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13. CONTRACTOR IS TO COLLECT ALL DROPPED FASTENERS AROUND BUILDING TO PREVENT INJURY TO TENANTS.

BUILDING DISTRIBUTION SCHEDULE					
BUILDING TYPE	UNIT TYPE	DESCRIPTION	NUMBER OF BUILDINGS	NUMBER OF UNITS	
F-1	F-1	1 BEDROOM	01	02	
F-1H/F-2H	F-1H/F-2H	1 BED. HC/2 BED. HC	01	02	
F-2	F-2	2 BEDROOMS	08	16	
F-3	F-3	3 BEDROOMS	05	10	
F-4	F-4	3 BEDROOMS	02	04	
F-3/F-4	F-3/F-4	3 BED./4 BED.	01	02	
M	-	MAINTENANCE BLDG.	-	-	
COMM.	-	COMMUNITY CENTER	-	-	
TOTAL			18	36	

DRAWN BY: M.C.P.  
CHECKED BY: D.P.H.  
DATE: 08.21.2025  
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ABILENE HOUSING AUTHORITY  
DEEGAN & BRAILSFORD APARTMENTS  
ROOF REPLACEMENT  
ABILENE, TEXAS

REGISTERED ARCHITECT  
RICHARD P. GAY  
15143  
08.01.2025

PROJECT NO.  
2025-009  
SHEET NO.

A-1.03



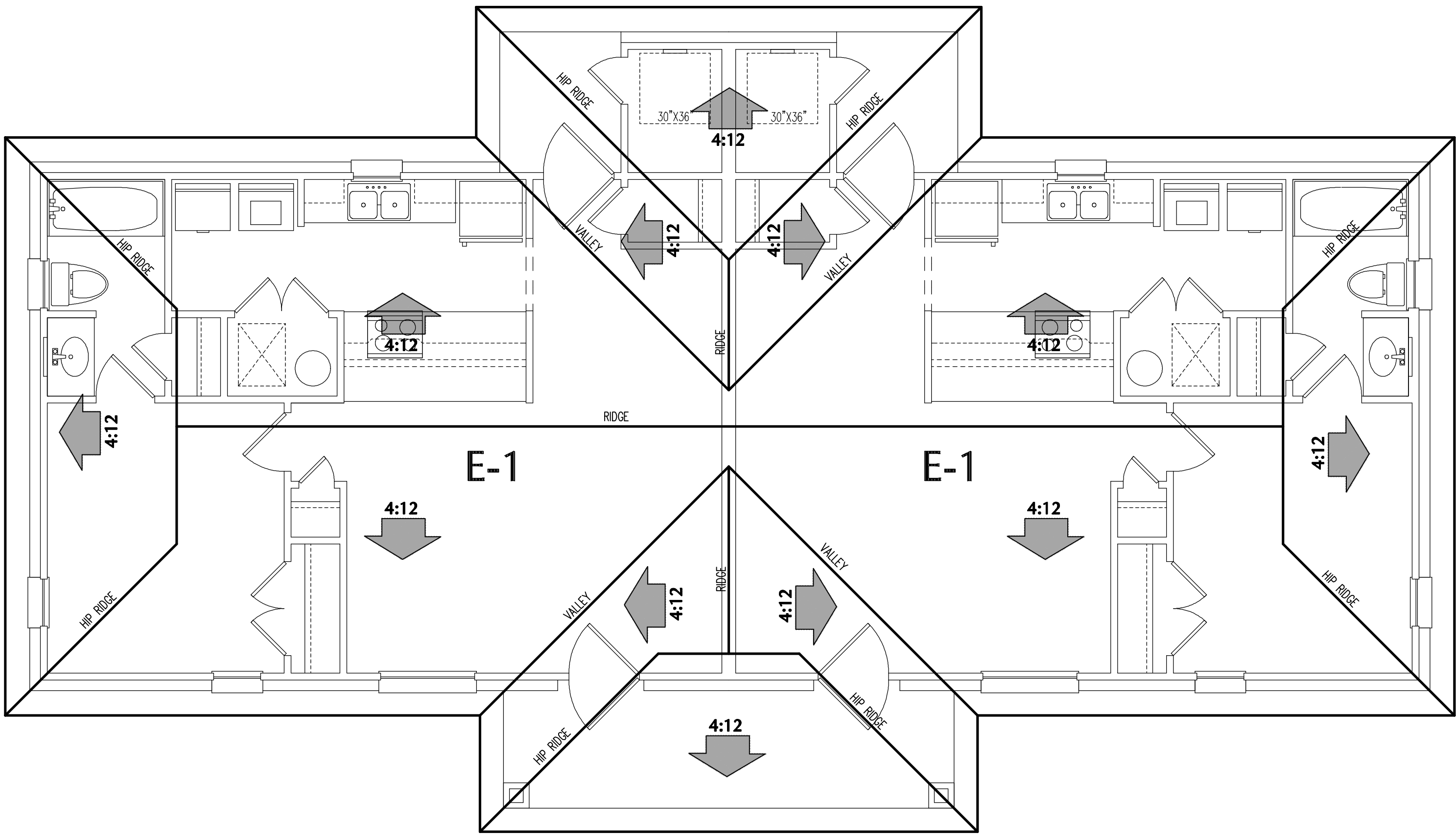
LEGEND



ATTIC VENT CALCULATION

AREA1

VENTILATED AREA: 1,320 S.F.  
VENTILATION REQUIRED: 1,320 S.F./150X144=1,268 NET FREE S.I.  
VENTILATION PROVIDED:  
SOFFIT VENTS REQUIRED MUST = 634 S.I.  
RIDGE VENTS, AIR HAWKS AND GABLE VENTS MUST = 634 S.I.  
NOT MORE THAN 3'-0" FROM RIDGE  
TOTAL MINIMUM VENTILATION REQUIRED =1,268 S.I.



NOTES:

- 1. CONTRACTOR IS TO REFER TO GENERAL NOTES ON SITE PLAN FOR FULL SCOPE OF WORK.
- 2. CONTRACTOR IS TO FIELD VERIFY EXISTING ATTIC VENTILATION FOR COMPLIANCE WITH ATTIC VENT CALCULATIONS AND INTERNATIONAL BUILDING CODE REQUIREMENTS. PROVIDE ADDITIONAL VENTILATION AS NEEDED.
- 3. CONTRACTOR TO FIELD VERIFY EXISTING ROOF PENETRATIONS AND FLASHING AND ASSESS IF REPAIR OR REPLACEMENT IS NEEDED FOR WATER TIGHT ASSEMBLY
- 4. CONTRACTOR IS TO FIELD VERIFY EXISTING ROOF FOR DAMAGE OR ROT. REPLACE SHEATHING AS NEEDED FOR SOLID AND SECURE SUBSTRATE.
- 5. EXISTING GUTTERS TO REMAIN IN PLACE AND UNDAMAGED FROM ROOF REPLACEMENT.
- 6. REFER TO PROJECT MANUAL FOR NEW SHINGLES AND UNDERLAYMENT.
- 7. CONTRACTOR TO PROVIDE ALL COMPONENTS AND MATERIALS NEEDED FOR A WATER TIGHT ASSEMBLY COMPLYING WITH MANUFACTURER'S WARRANTY REQUIREMENTS.

DRAWN BY:	R.S.G.
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ABILENE HOUSING AUTHORITY  
DEEGAN & BRAILSFORD APARTMENTS  
ROOF REPLACEMENT

TEXAS  
ABILENE

REGISTERED ARCHITECT  
RICHARD P. GARY  
5143  
STATE OF TEXAS

09.01.2025

PROJECT NO.  
2025-009  
SHEET NO.  
A-2.01

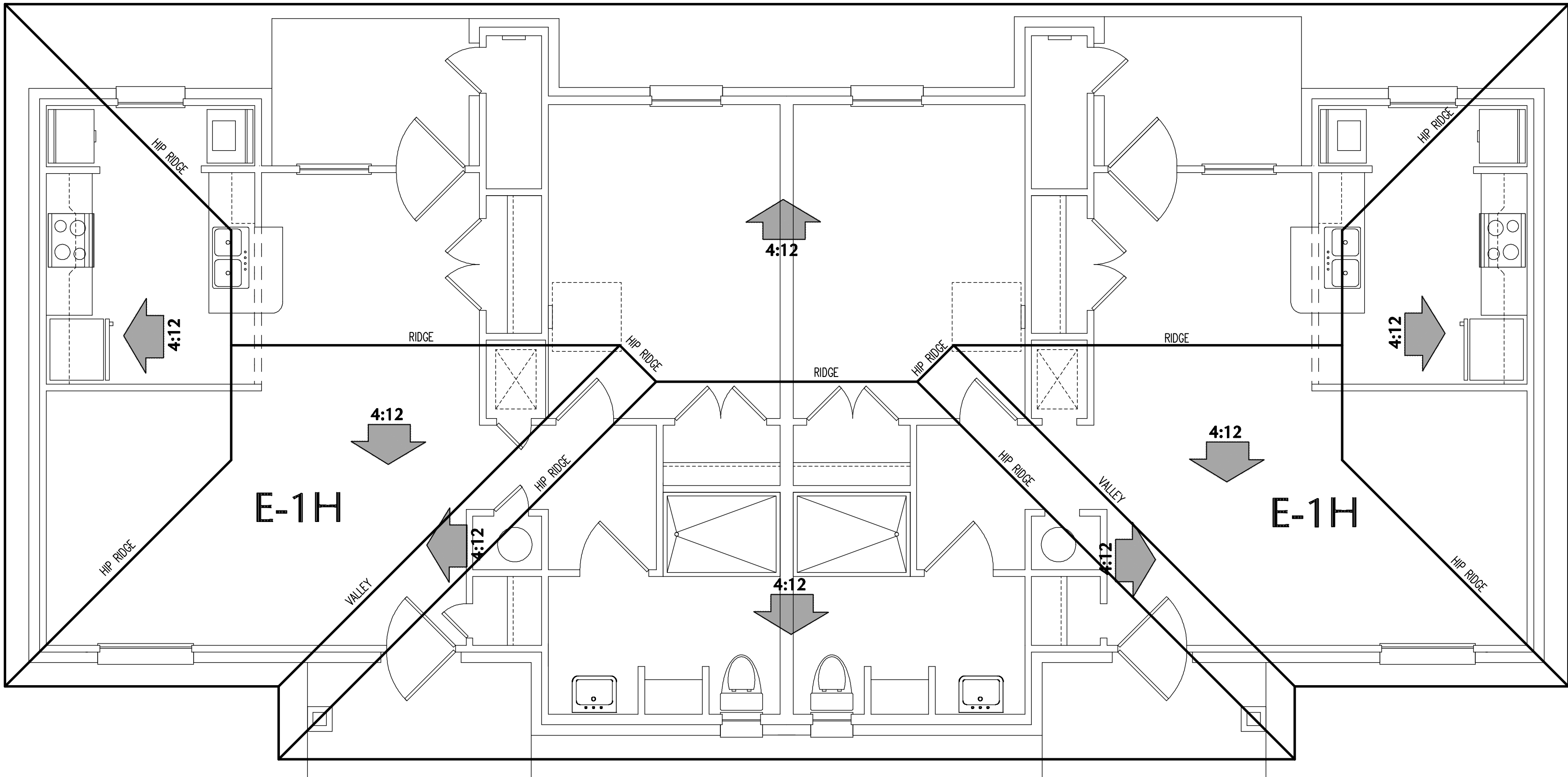
LEGEND

XX:12  
SLOPE OF ROOF

ATTIC VENT CALCULATION

AREA1

VENTILATED AREA: 1,575 S.F.  
VENTILATION REQUIRED: 1,575 S.F./150X144=1,512 NET FREE S.I.  
VENTILATION PROVIDED:  
SOFFIT VENTS REQUIRED MUST = 756 S.I.  
RIDGE VENTS, AIR HAWKS AND GABLE VENTS MUST = 756 S.I.  
NOT MORE THAN 3'-0" FROM RIDGE  
TOTAL MINIMUM VENTILATION REQUIRED =1,512 S.I.



NOTES:

1. CONTRACTOR IS TO REFER TO GENERAL NOTES ON SITE PLAN FOR FULL SCOPE OF WORK.
2. CONTRACTOR IS TO FIELD VERIFY EXISTING ATTIC VENTILATION FOR COMPLIANCE WITH ATTIC VENT CALCULATIONS AND INTERNATIONAL BUILDING CODE REQUIREMENTS. PROVIDE ADDITIONAL VENTILATION AS NEEDED.
3. CONTRACTOR TO FIELD VERIFY EXISTING ROOF PENETRATIONS AND FLASHING AND ASSESS IF REPAIR OR REPLACEMENT IS NEEDED FOR WATER TIGHT ASSEMBLY
4. CONTRACTOR IS TO FIELD VERIFY EXISTING ROOF FOR DAMAGE OR ROT. REPLACE SHEATHING AS NEEDED FOR SOLID AND SECURE SUBSTRATE.
5. EXISTING GUTTERS TO REMAIN IN PLACE AND UNDAMAGED FROM ROOF REPLACEMENT.
6. REFER TO PROJECT MANUAL FOR NEW SHINGLES AND UNDERLAYMENT.
7. CONTRACTOR TO PROVIDE ALL COMPONENTS AND MATERIALS NEEDED FOR A WATER TIGHT ASSEMBLY COMPLYING WITH MANUFACTURER'S WARRANTY REQUIREMENTS.



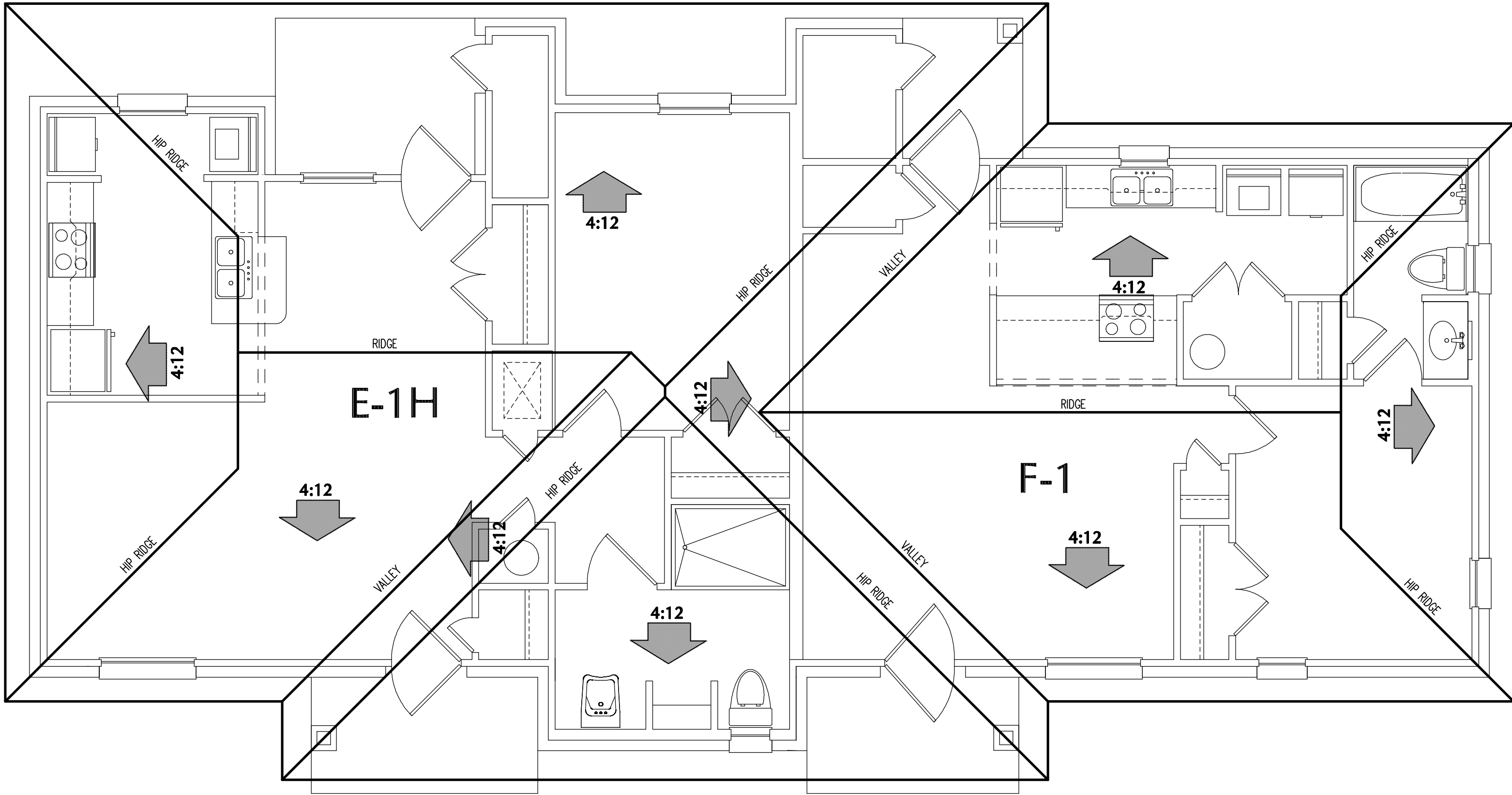
LEGEND



ATTIC VENT CALCULATION

AREA1

VENTILATED AREA: 1,665 S.F.  
VENTILATION REQUIRED: 1,665 S.F./150X144=1,600 NET FREE S.I.  
VENTILATION PROVIDED:  
SOFFIT VENTS REQUIRED MUST = 800 S.I.  
RIDGE VENTS, AIR HAWKS AND GABLE VENTS MUST = 800 S.I.  
NOT MORE THAN 3'-0" FROM RIDGE  
TOTAL MINIMUM VENTILATION REQUIRED =1,600 S.I.



01 BLDG TYPE E-1H/F-1 @ DEEGAN APARTMENTS  
SCALE: 1/4" = 1'-0"

NOTES:

1. CONTRACTOR IS TO REFER TO GENERAL NOTES ON SITE PLAN FOR FULL SCOPE OF WORK.
2. CONTRACTOR IS TO FIELD VERIFY EXISTING ATTIC VENTILATION FOR COMPLIANCE WITH ATTIC VENT CALCULATIONS AND INTERNATIONAL BUILDING CODE REQUIREMENTS. PROVIDE ADDITIONAL VENTILATION AS NEEDED.
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7. CONTRACTOR TO PROVIDE ALL COMPONENTS AND MATERIALS NEEDED FOR A WATER TIGHT ASSEMBLY COMPLYING WITH MANUFACTURER'S WARRANTY REQUIREMENTS.

DRAWN BY: R.S.G.  
CHECKED BY: D.P.H.  
DATE: 08.25.2025  
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ABILENE HOUSING AUTHORITY  
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ABILENE TEXAS



PROJECT NO.  
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SHEET NO.  
A-2.03

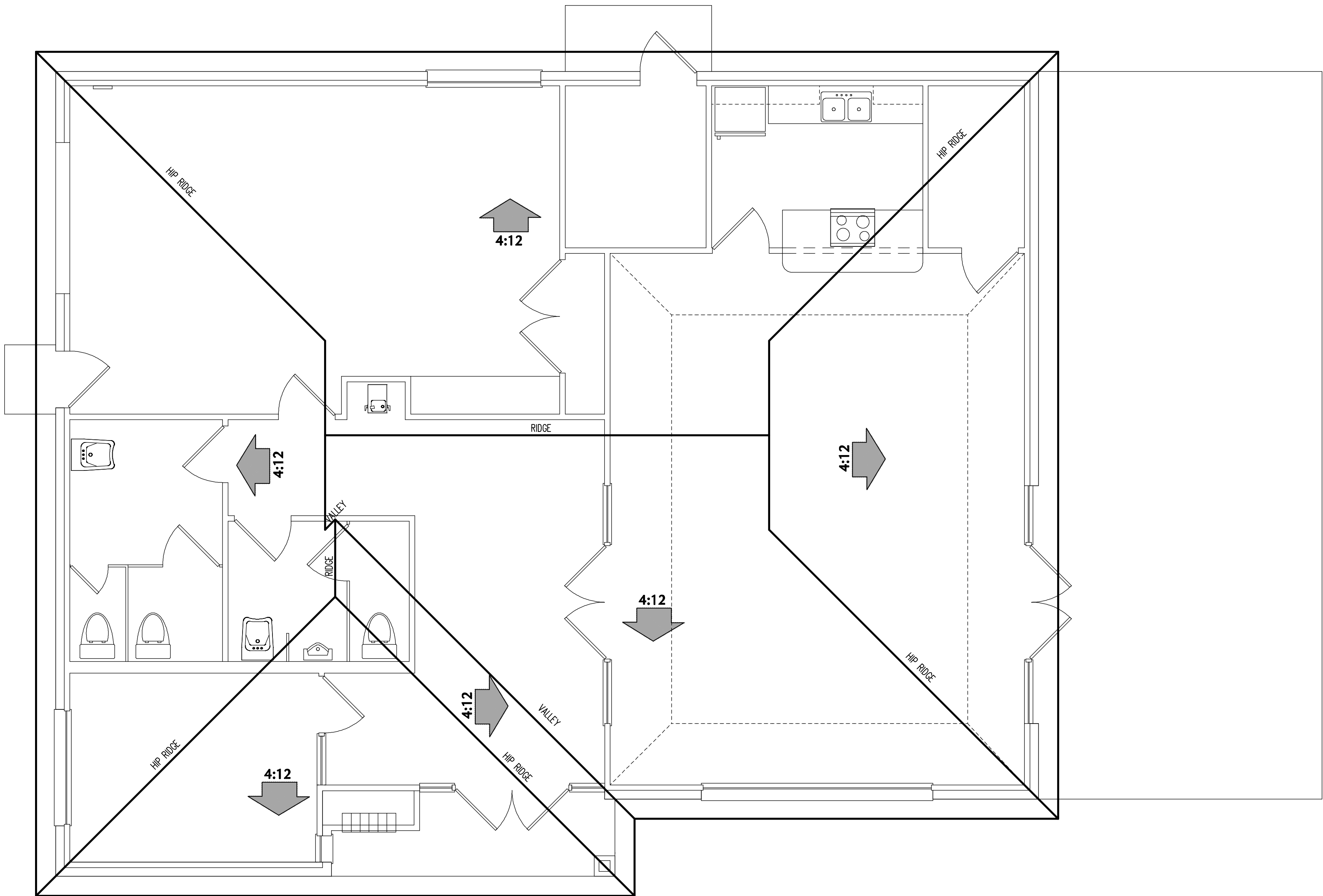
LEGEND



ATTIC VENT CALCULATION

AREA1

VENTILATED AREA: 2,040 S.F.  
VENTILATION REQUIRED: 2,040 S.F./150X144=1,960 NET FREE S.I.  
VENTILATION PROVIDED:  
SOFFIT VENTS REQUIRED MUST = 980 S.I.  
RIDGE VENTS, AIR HAWKS AND GABLE VENTS MUST = 980 S.I.  
NOT MORE THAN 3'-0" FROM RIDGE  
TOTAL MINIMUM VENTILATION REQUIRED = 2,040 S.I.



NOTES:

- 1. CONTRACTOR IS TO REFER TO GENERAL NOTES ON SITE PLAN FOR FULL SCOPE OF WORK.
- 2. CONTRACTOR IS TO FIELD VERIFY EXISTING ATTIC VENTILATION FOR COMPLIANCE WITH ATTIC VENT CALCULATIONS AND INTERNATIONAL BUILDING CODE REQUIREMENTS. PROVIDE ADDITIONAL VENTILATION AS NEEDED.
- 3. CONTRACTOR TO FIELD VERIFY EXISTING ROOF PENETRATIONS AND FLASHING AND ASSESS IF REPAIR OR REPLACEMENT IS NEEDED FOR WATER TIGHT ASSEMBLY
- 4. CONTRACTOR IS TO FIELD VERIFY EXISTING ROOF FOR DAMAGE OR ROT. REPLACE SHEATHING AS NEEDED FOR SOLID AND SECURE SUBSTRATE.
- 5. EXISTING GUTTERS TO REMAIN IN PLACE AND UNDAMAGED FROM ROOF REPLACEMENT.
- 6. REFER TO PROJECT MANUAL FOR NEW SHINGLES AND UNDERLAYMENT.
- 7. CONTRACTOR TO PROVIDE ALL COMPONENTS AND MATERIALS NEEDED FOR A WATER TIGHT ASSEMBLY COMPLYING WITH MANUFACTURER'S WARRANTY REQUIREMENTS.

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ABILENE HOUSING AUTHORITY  
DEEGAN & BRAILSFORD APARTMENTS  
ROOF REPLACEMENT  
ABILENE TEXAS



09.01.2025  
PROJECT NO.

2025-009  
SHEET NO.

A-2.04



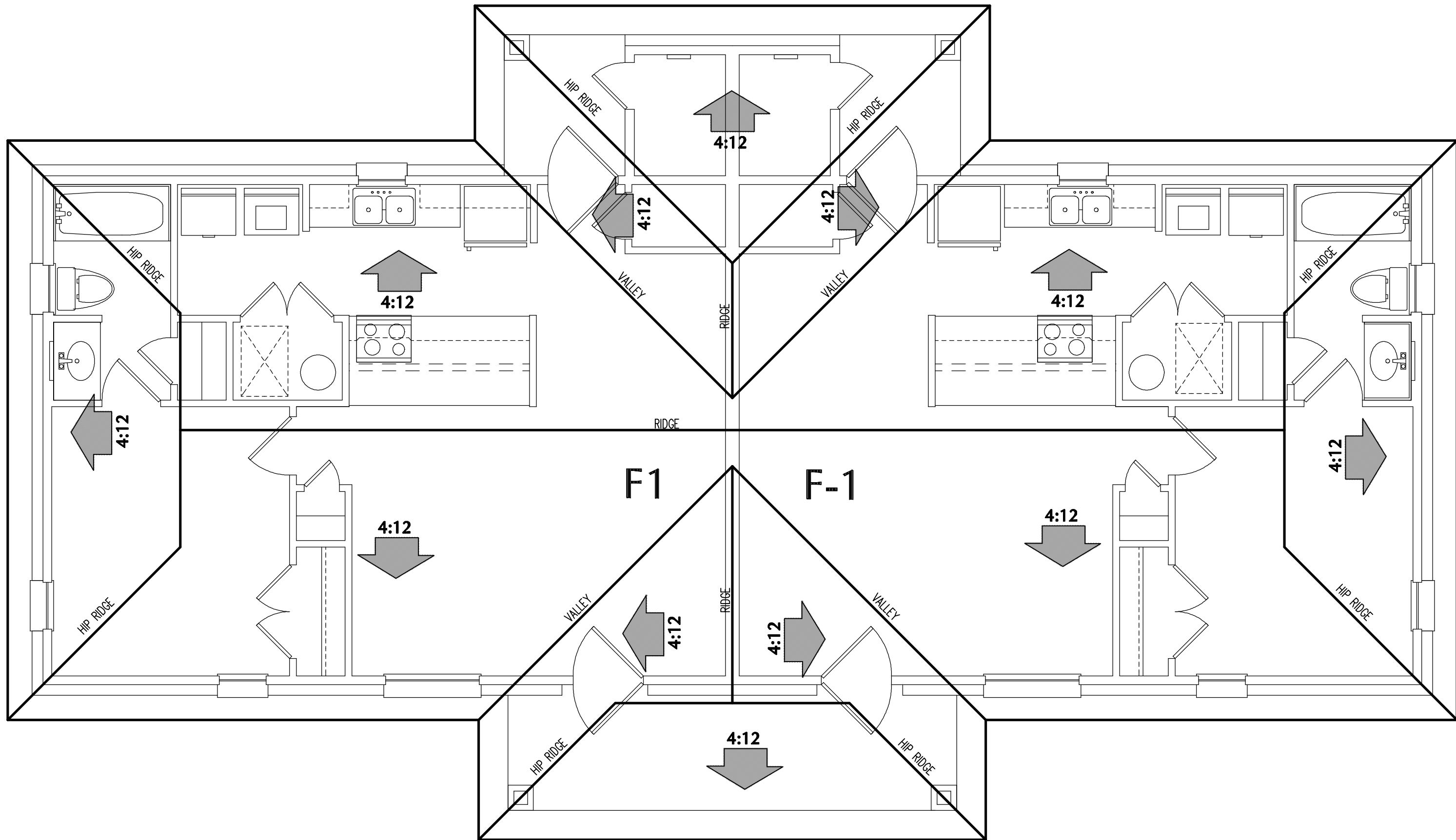
LEGEND



ATTIC VENT CALCULATION

AREA1

VENTILATED AREA: 1,487 S.F.  
VENTILATION REQUIRED: 1,487 S.F./150X144=1,428 NET FREE S.I.  
VENTILATION PROVIDED:  
SOFFIT VENTS REQUIRED MUST = 714 S.I.  
RIDGE VENTS, AIR HAWKS AND GABLE VENTS MUST = 714 S.I.  
NOT MORE THAN 3'-0" FROM RIDGE  
TOTAL MINIMUM VENTILATION REQUIRED =1,428 S.I.



01 BLDG TYPE F-1/F-1 @ BRAILSFORD B & D  
SCALE: 1/4" = 1'-0"

NOTES:

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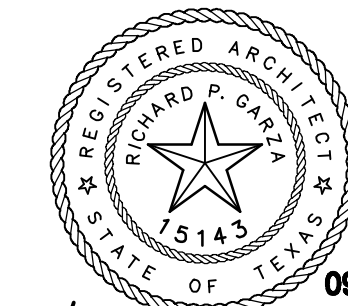
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ABILENE HOUSING AUTHORITY  
DEEGAN & BRAILSFORD APARTMENTS  
ROOF REPLACEMENT

TEXAS

ABILENE



PROJECT NO.

2025-009

SHEET NO.

A-2.05

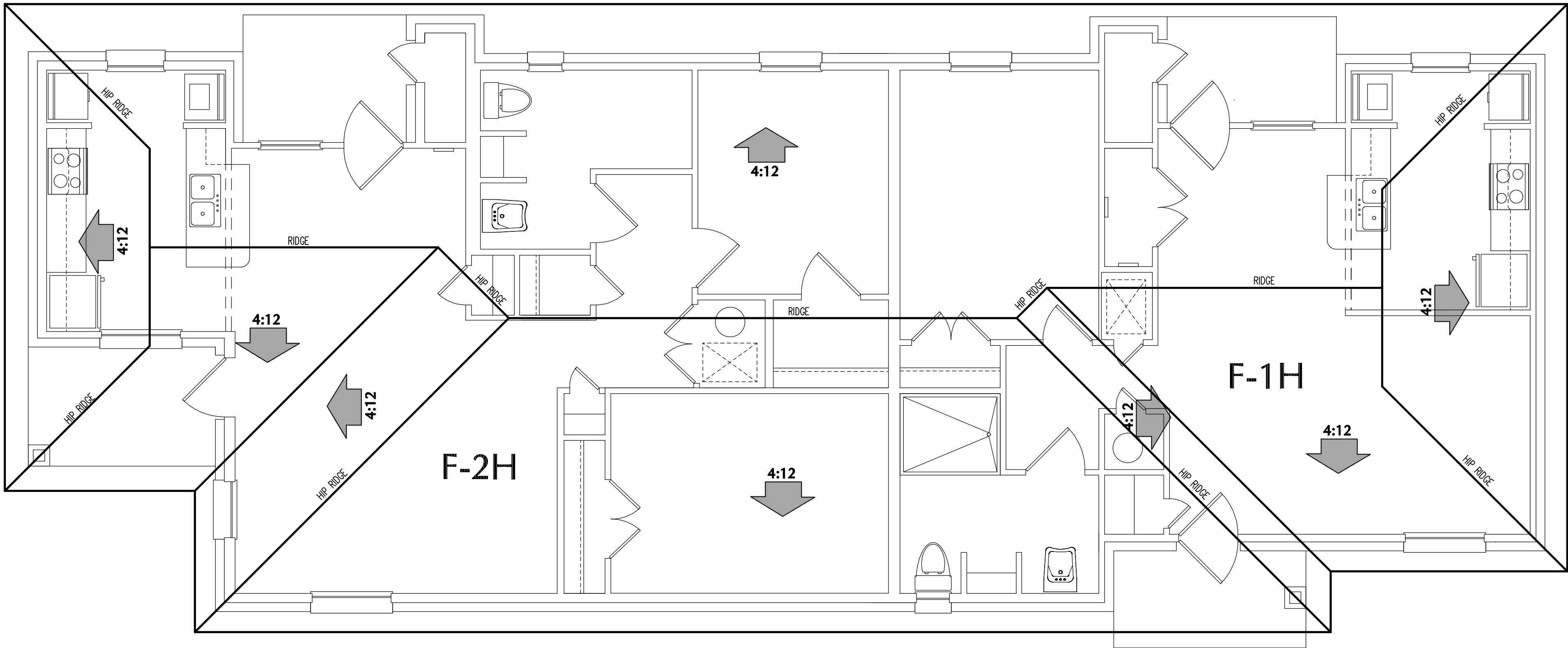
LEGEND



ATTIC VENT CALCULATION

AREA1

VENTILATED AREA: 2,122 S.F.  
VENTILATION REQUIRED: 2,122 S.F./150X144=2,038 NET FREE S.I.  
VENTILATION PROVIDED:  
SOFFIT VENTS REQUIRED MUST = 1,019 S.I.  
RIDGE VENTS, AIR HAWKS AND GABLE VENTS MUST = 1,019 S.I.  
NOT MORE THAN 3'-0" FROM RIDGE  
TOTAL MINIMUM VENTILATION REQUIRED =2,038 S.I.



01 **BLDG TYPE F-1H/F-2H @ BRAILSFORD B & D**  
SCALE: 1/4" = 1'-0"

NOTES:

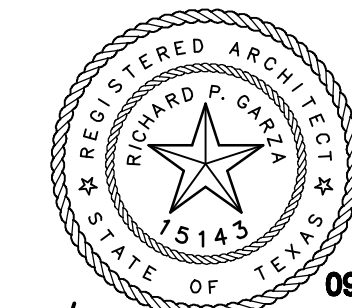
1. CONTRACTOR IS TO REFER TO GENERAL NOTES ON SITE PLAN FOR FULL SCOPE OF WORK.
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5. EXISTING GUTTERS TO REMAIN IN PLACE AND UNDAMAGED FROM ROOF REPLACEMENT.
6. REFER TO PROJECT MANUAL FOR NEW SHINGLES AND UNDERLAYMENT.
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ABILENE HOUSING AUTHORITY  
DEEGAN & BRAILSFORD APARTMENTS  
ROOF REPLACEMENT  
ABILENE, TEXAS



PROJECT NO.  
**2025-009**  
SHEET NO.  
**A-2.06**

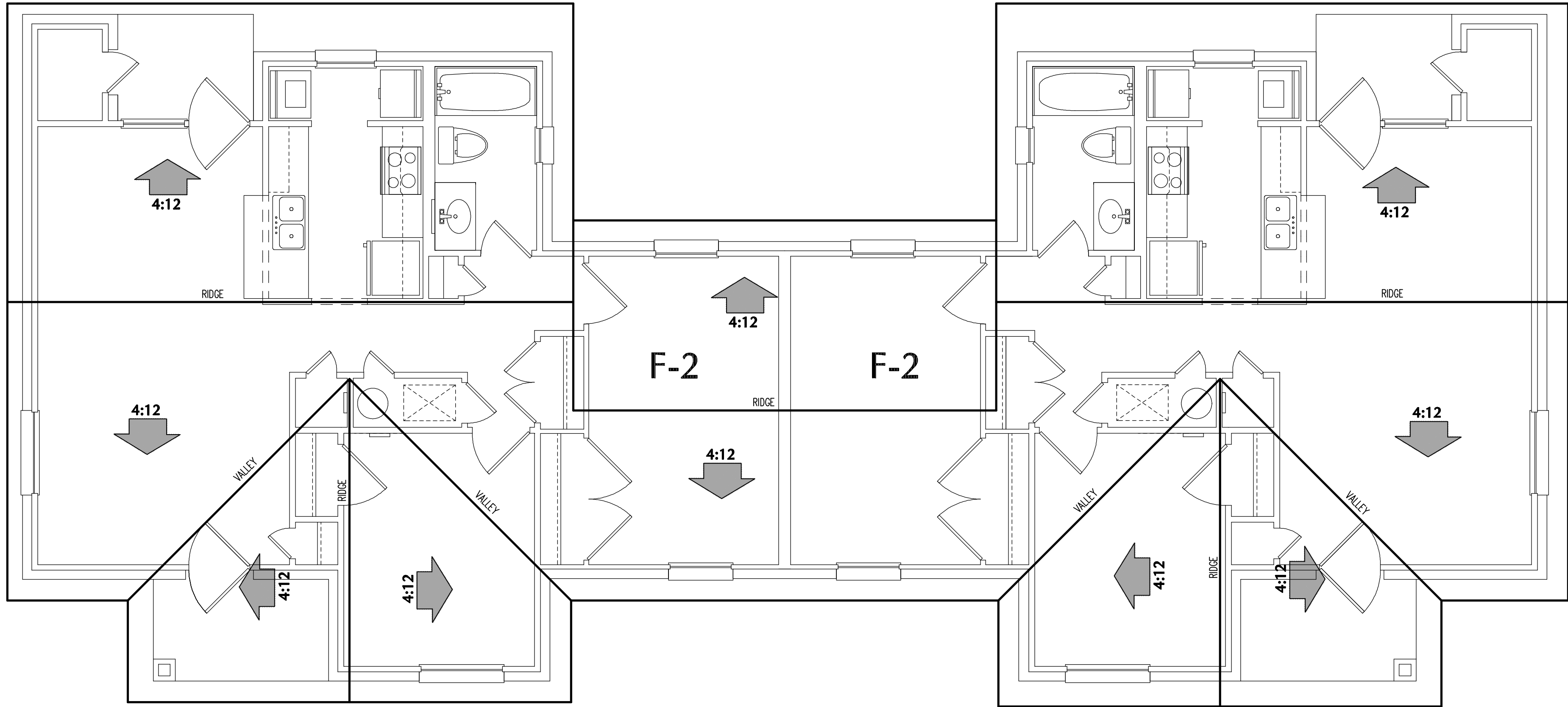


LEGEND



ATTIC VENT CALCULATION

AREA1  
VENTILATED AREA: 1,913 S.F.  
VENTILATION REQUIRED: 1,913 S.F./150X144=1,838 NET FREE S.I.  
VENTILATION PROVIDED:  
SOFFIT VENTS REQUIRED MUST = 919 S.I.  
RIDGE VENTS, AIR HAWKS AND GABLE VENTS MUST = 919 S.I.  
NOT MORE THAN 3'-0" FROM RIDGE  
TOTAL MINIMUM VENTILATION REQUIRED =1,838 S.I.



01 BUILDING TYPE F-2/F-2 @ BRAILSFORD B & D  
SCALE: 1/4" = 1'-0"

NOTES:

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ABILENE HOUSING AUTHORITY  
DEEGAN & BRAILSFORD APARTMENTS  
ROOF REPLACEMENT  
ABILENE, TEXAS

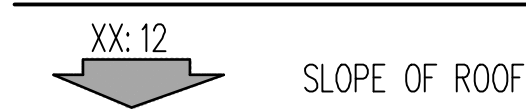


PROJECT NO.

2025-009

SHEET NO.  
A-2.07

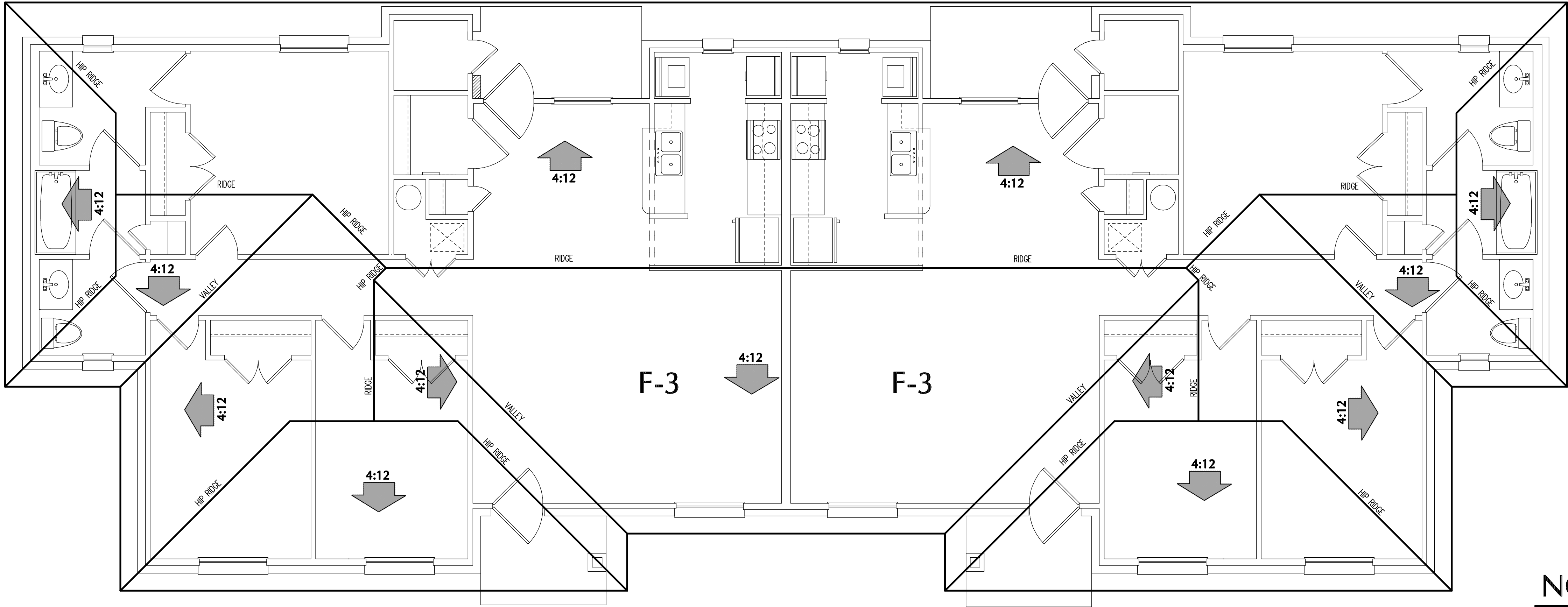
LEGEND



ATTIC VENT CALCULATION

AREA1

VENTILATED AREA: 2,716 S.F.  
VENTILATION REQUIRED: 2,716 S.F./150X144=2,608 NET FREE S.I.  
VENTILATION PROVIDED:  
SOFFIT VENTS REQUIRED MUST = 1,304 S.I.  
RIDGE VENTS, AIR HAWKS AND CABLE VENTS MUST = 1,304 S.I.  
NOT MORE THAN 3'-0" FROM RIDGE  
TOTAL MINIMUM VENTILATION REQUIRED =2,608 S.I.



01 BUILDING TYPE F-3/F-3 BRAILSFORD B & D  
SCALE: 1/4" = 1'-0"

NOTES:

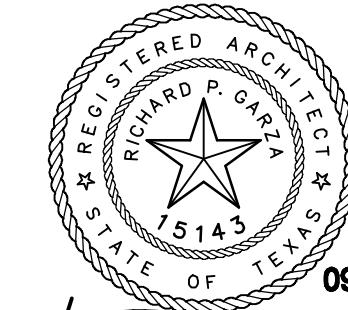
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6. REFER TO PROJECT MANUAL FOR NEW SHINGLES AND UNDERLAYMENT.
7. CONTRACTOR TO PROVIDE ALL COMPONENTS AND MATERIALS NEEDED FOR A WATER TIGHT ASSEMBLY COMPLYING WITH MANUFACTURER'S WARRANTY REQUIREMENTS.

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ABILENE HOUSING AUTHORITY  
DEEGAN & BRAILSFORD APARTMENTS  
ROOF REPLACEMENT  
ABILENE,  
TEXAS



PROJECT NO.  
2025-009  
SHEET NO.  
A-2.08



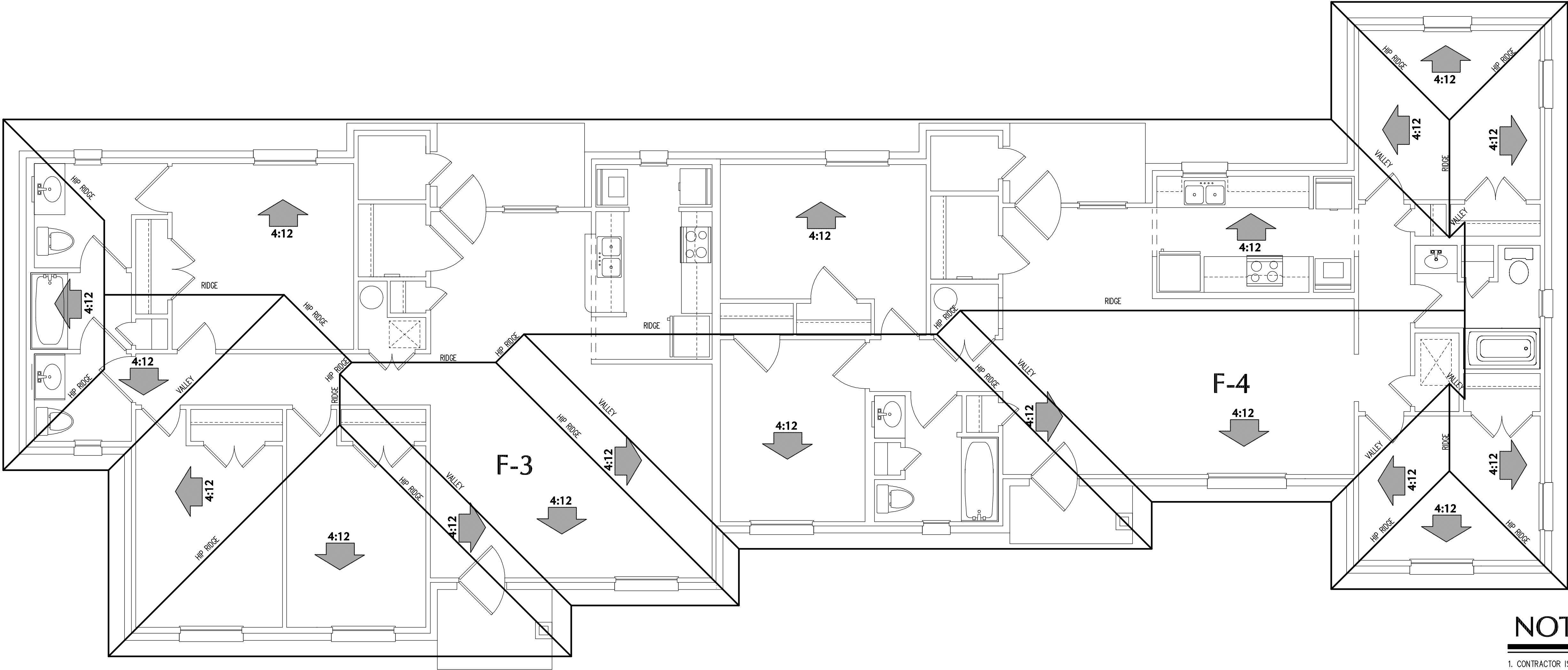
LEGEND



ATTIC VENT CALCULATION

AREA1

VENTILATED AREA: 2,825 S.F.  
VENTILATION REQUIRED: 2,825 S.F./150X144=2,712 NET FREE S.I.  
VENTILATION PROVIDED:  
SOFFIT VENTS REQUIRED MUST = 1,356 S.I.  
RIDGE VENTS, AIR HAWKS AND GABLE VENTS MUST = 1,356 S.I.  
NOT MORE THAN 3'-0" FROM RIDGE  
TOTAL MINIMUM VENTILATION REQUIRED =2,712 S.I.



NOTES:

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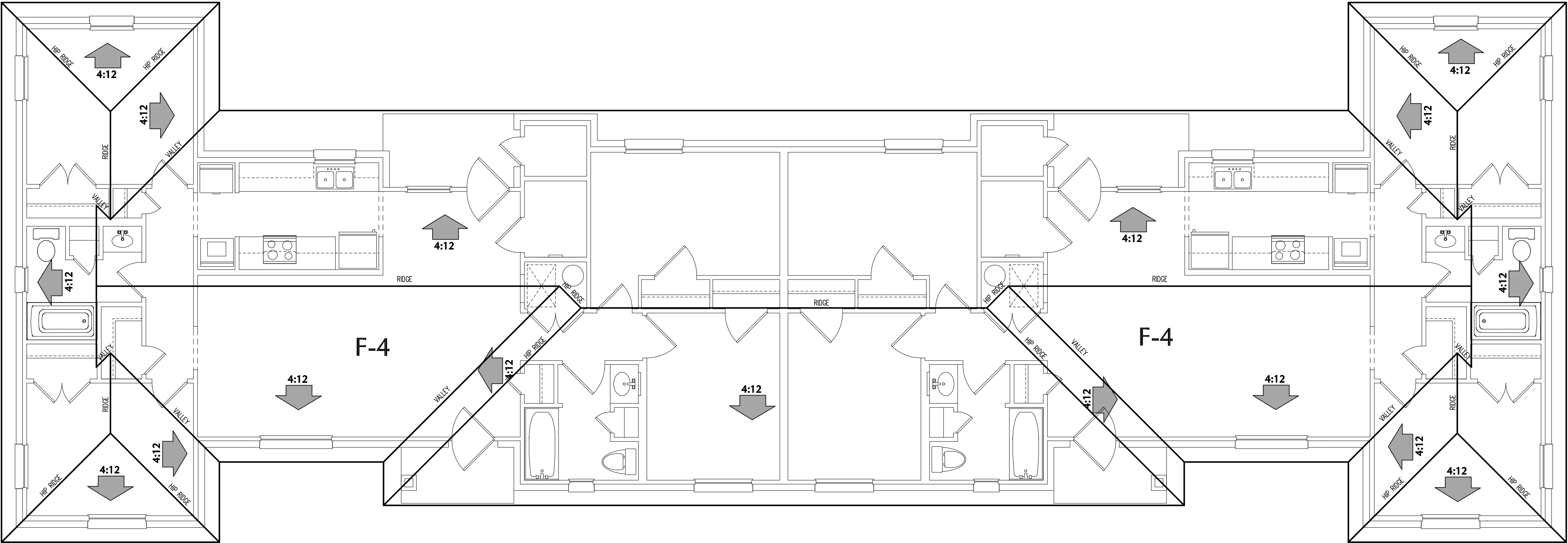
LEGEND

XX:12  
SLOPE OF ROOF

ATTIC VENT CALCULATION

AREA1

VENTILATED AREA: 2,936 S.F.  
VENTILATION REQUIRED: 2,936 S.F./150X144=2,820 NET FREE S.I.  
VENTILATION PROVIDED:  
SOFFIT VENTS REQUIRED MUST = 1,410 S.I.  
RIDGE VENTS, AIR HAWKS AND CABLE VENTS MUST = 1,410 S.I.  
NOT MORE THAN 3'-0" FROM RIDGE  
TOTAL MINIMUM VENTILATION REQUIRED =2,820 S.I.



01 BUILDING TYPE F-4/F-4 @ BRAILSFORD B & D  
SCALE: 1/4" = 1'-0"

NOTES:

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ABILENE HOUSING AUTHORITY  
DEEGAN & BRAILSFORD APARTMENTS  
ROOF REPLACEMENT  
ABILENE, TEXAS



PROJECT NO.  
2025-009

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